



DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS IN ALL CASES. VERIFY DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS IMMEDIATELY. THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ARCHITECTURAL SERVICES. THIS DRAWING IS COPYRIGHT AND MAY ONLY BE REPRODUCED WITH THE ARCHITECTS PERMISSION.

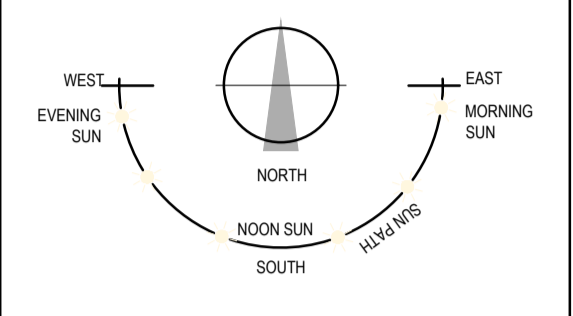
NOTES


LEGEND:


Ordnance Survey Ireland
Licence No. AR0005421
© Government of Ireland


NOTE: SITE BOUNDARY SHOWN AS 


NOTE: SITE NOTICE LOCATION 


NOTE: 


NOTE: 1.8m HIGH 215 CAPPED GARDEN WALL 


NOTE: 1.1m HIGH HOT DIP GALVANISED MILD STEEL RAILINGS 

NOTE: 1.1m HIGH TOUGHENED GLASS GUARDING WITH HOT DIP GALVANISED MILD STEEL BASE RAIL 

NOTE: PRIVATE GARDEN 

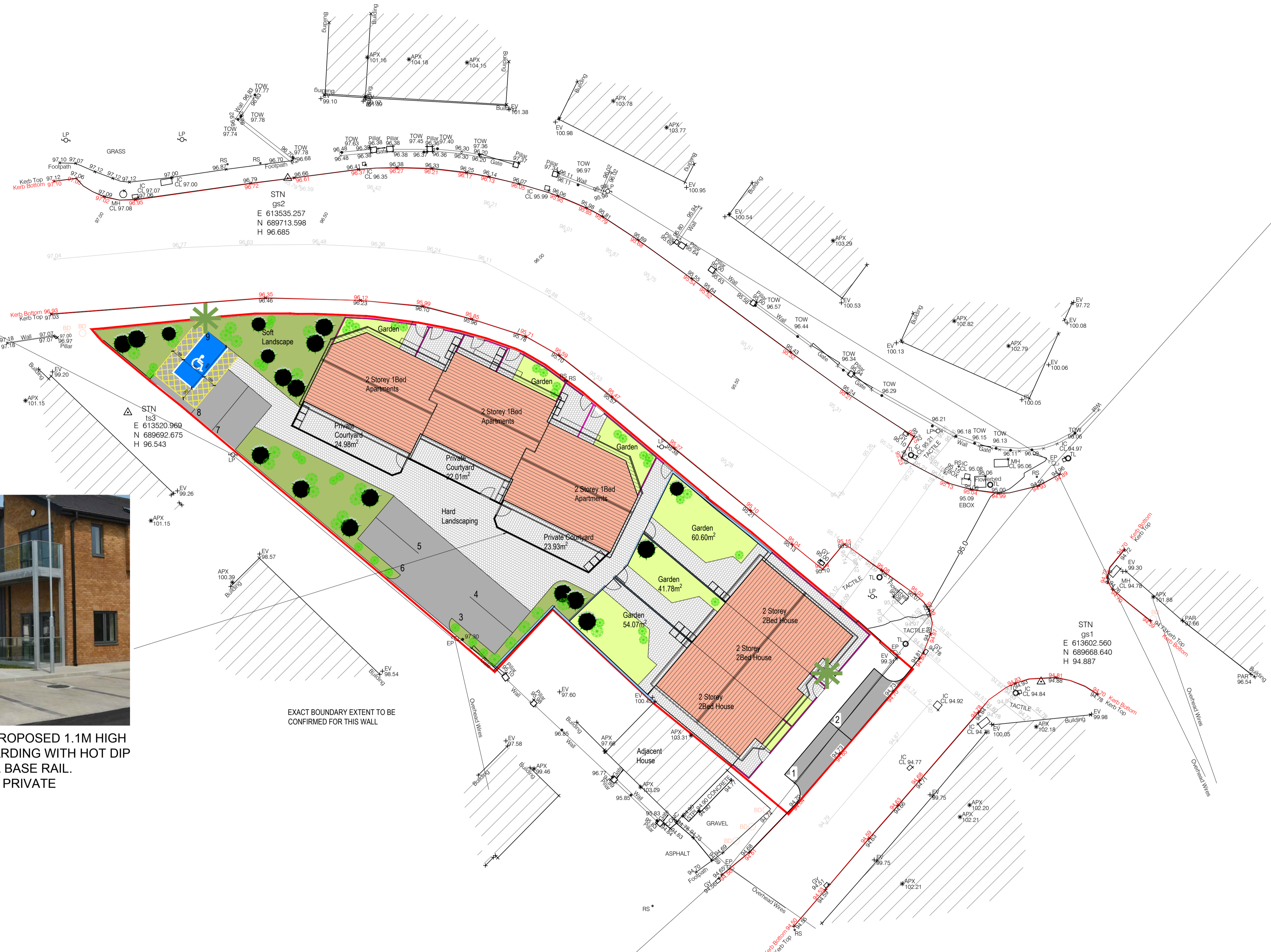
NOTE: PUBLIC OPEN SPACE 

NOTE: HARD LANDSCAPING / PAVED AREAS 

NOTE: TARMACADAM 



PRECEDENT IMAGE OF PROPOSED BIN STORE ENCLOSURE



PRECEDENT IMAGE OF PROPOSED 1.1M HIGH TOUGHENED GLASS GUARDING WITH HOT DIP GALVANISED MILD STEEL BASE RAIL. TO BE USED TO AROUND PRIVATE COURTYARD ONLY.

EXACT BOUNDARY EXTENT TO BE CONFIRMED FOR THIS WALL

PROPOSED SITE LAYOUT PLAN

SITE AREA - 0.1304ha

Scale 1:200

REV	DATE	DRAWN	NOTES

CJFA ARCHITECTS **C.J. Falconer + Associates ARCHITECTS**

St. Patrick's House, Newtown, Waterford, Ireland. X91-RR76
t: +353 (0)51 878888 f: +353 (0)51 878794 e: mail@cjfa.ie w: www.cjfa.ie

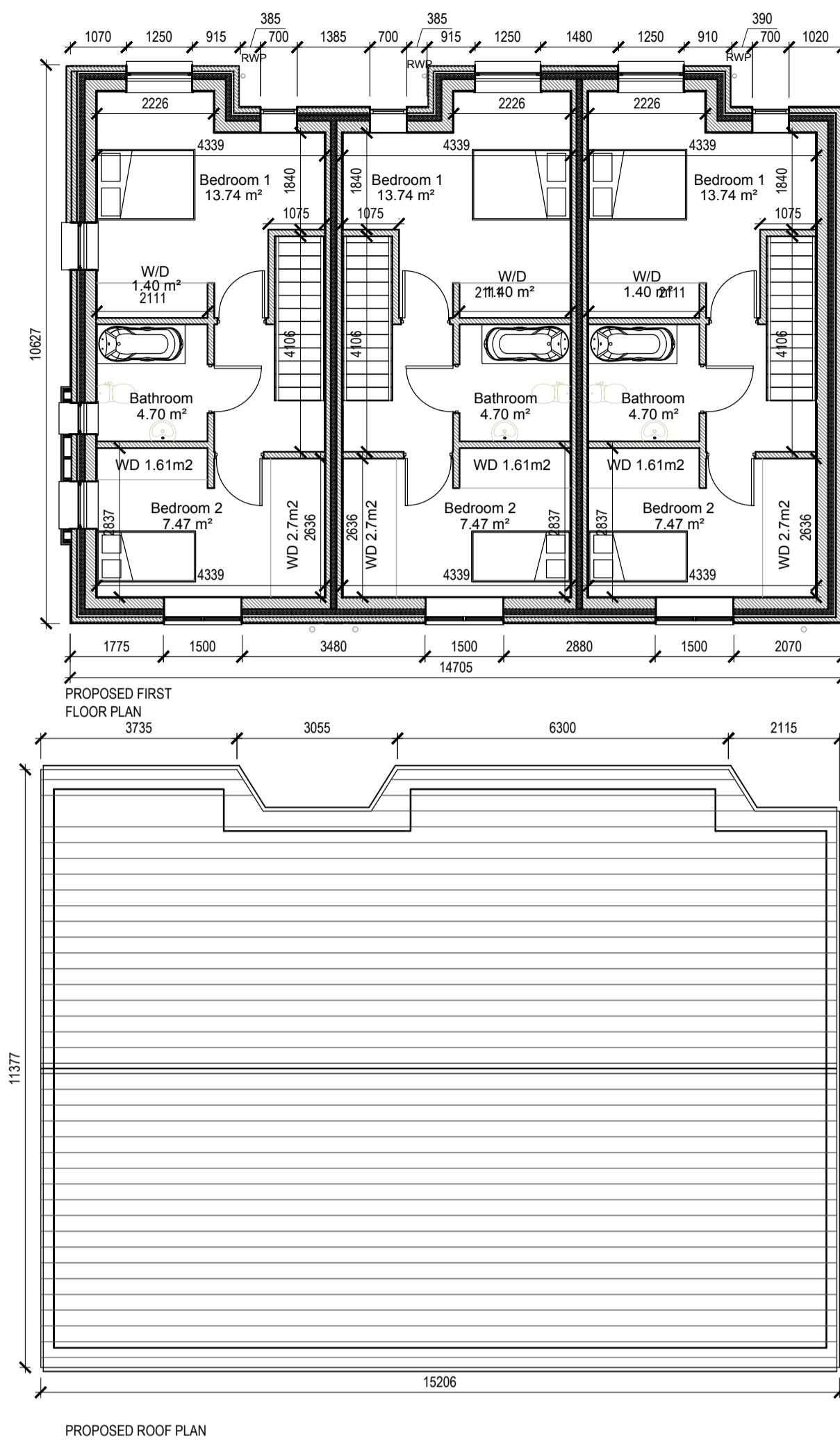
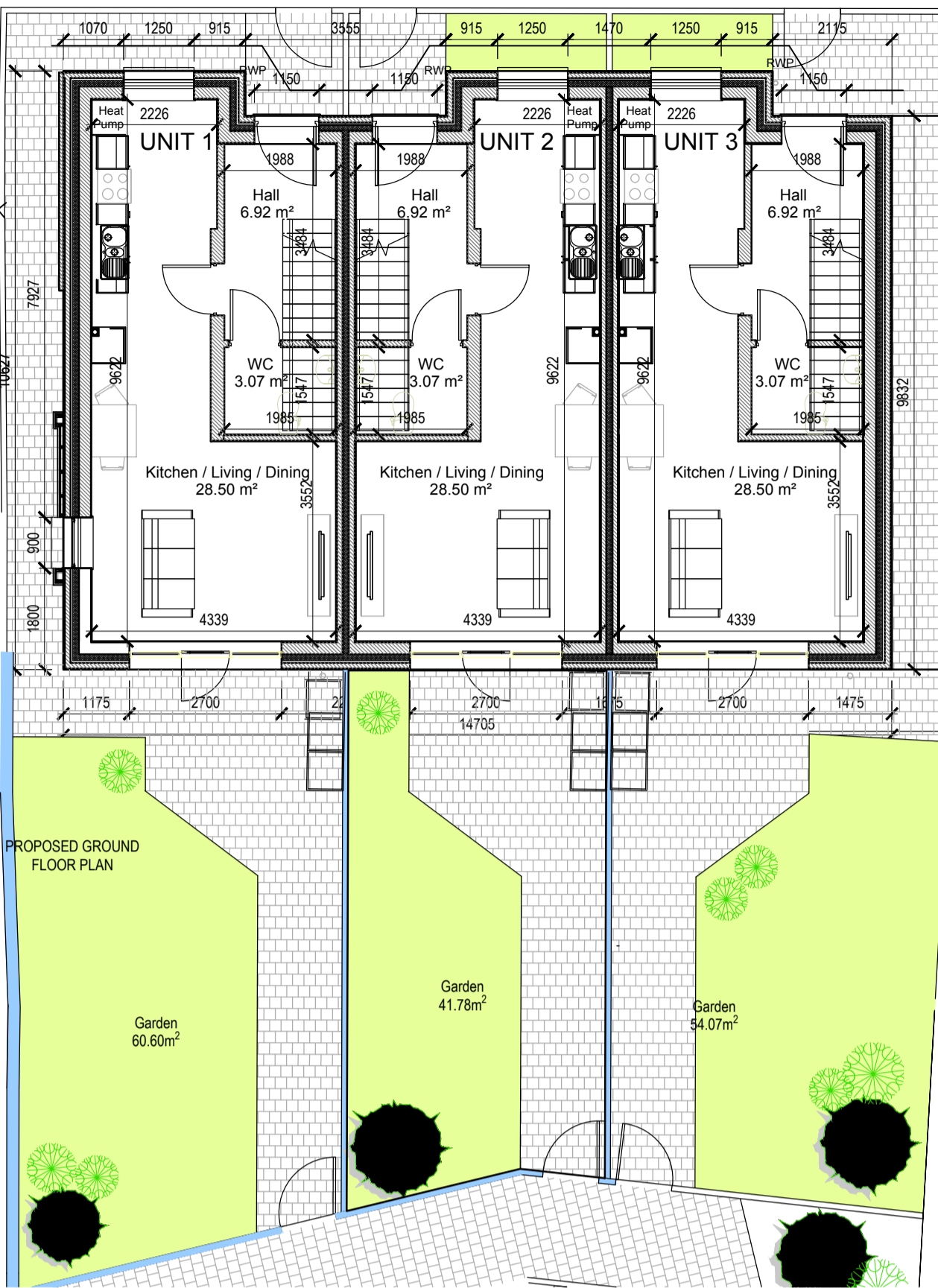
DWG SERIES: PART 8

CLIENT: TIPPERARY COUNTY COUNCIL
JOB: Social Housing Development at Grove Street, Roscrea, Co. Tipperary

DRAWING: Proposed Site Layout

DATE: July 2021 SCALE: 1:200 - A1
DRAWN: Ian O'Sorman CHECKED: Gary Falconer

JOB NUMBER: 2021012 DWG NUMBER: PL-104 REVISION:



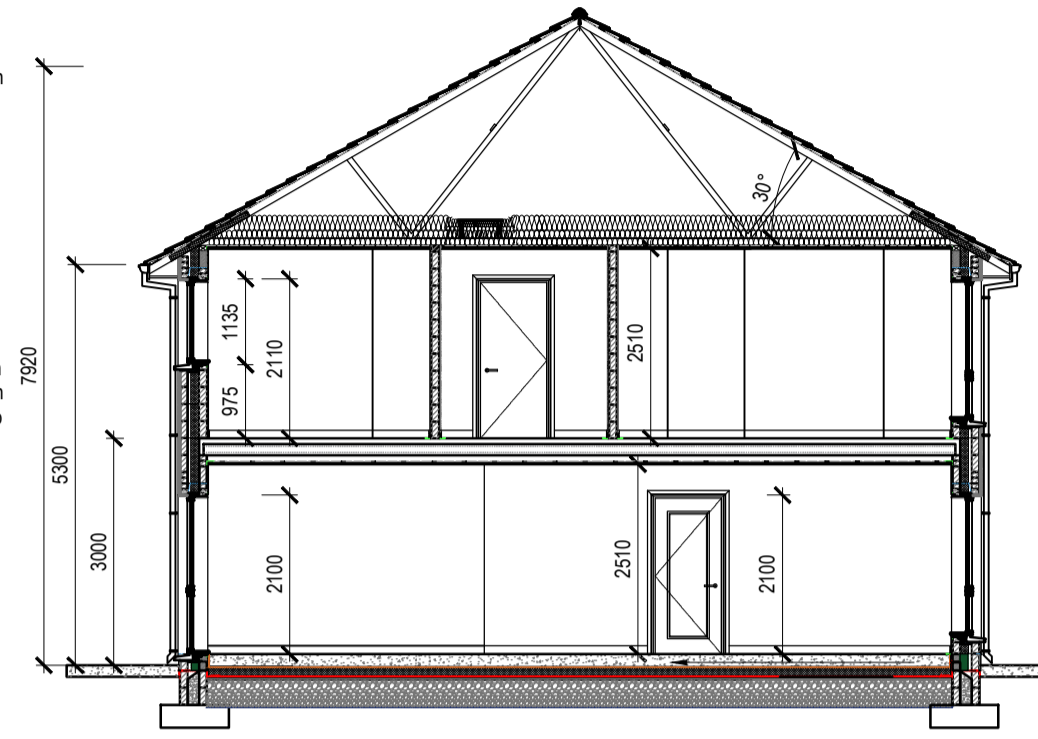
400mm deep Mineral Fibre Attic insulation to achieve the required U-Value 0.16W/m²K.

Selected colour polyester powder coated thermally broken triple glazed aluminium window & door system. U-Value to be 1.0 W/m²K min.

Precast concrete window sill

Floor construction
150mm thick power floated floor screed on 150mm insulation with edge insulation with min. R-value of 1.0m and polyethylene slip sheet on radon barrier on 50mm fine sand binding on 200mm permeable fill on 340mm hardcore

350mm RC raft foundation to engineers design.



Approx. 4 no. P.V. panels per unit. To be specified by Mechanical Engineer.

Selected colour concrete flat roof tiles on 35x50mm treated timber battens on prefabricated roof trusses @ 400mm c/c to engineers design & specification.

New aluminium 120mm half-round gutters & 100mm Downpipes

350mm thick wall construction
White paint to fine knapp plaster finish on 100mm concrete block external leaf with 110mm cavity wall insulation with 40mm air cavity with 100mm concrete block internal leaf with hardwall plaster finish on scratch and scouled coats with stainless steel twist type wall ties at 750mm c/c horizontally & 450mm c/c vertically with one at every course around window and door opens.
element should be so designed to ensure a u-value rating exceeding that of 1.15 window.

DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS IN ALL CASES. VERIFY DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS IMMEDIATELY. THIS DRAWING IS THE ARCHITECTS WORK AND NOT TO BE REPRODUCED OR COPIED WITHOUT THE ARCHITECTS PERMISSION. © THIS DRAWING IS COPYRIGHT AND MAY ONLY BE REPRODUCED WITH THE ARCHITECTS PERMISSION.

NOTES

Legend:

Ordnance Survey Ireland Licence No. AR0005421 © Government of Ireland

NOTE: PRIVATE GARDEN

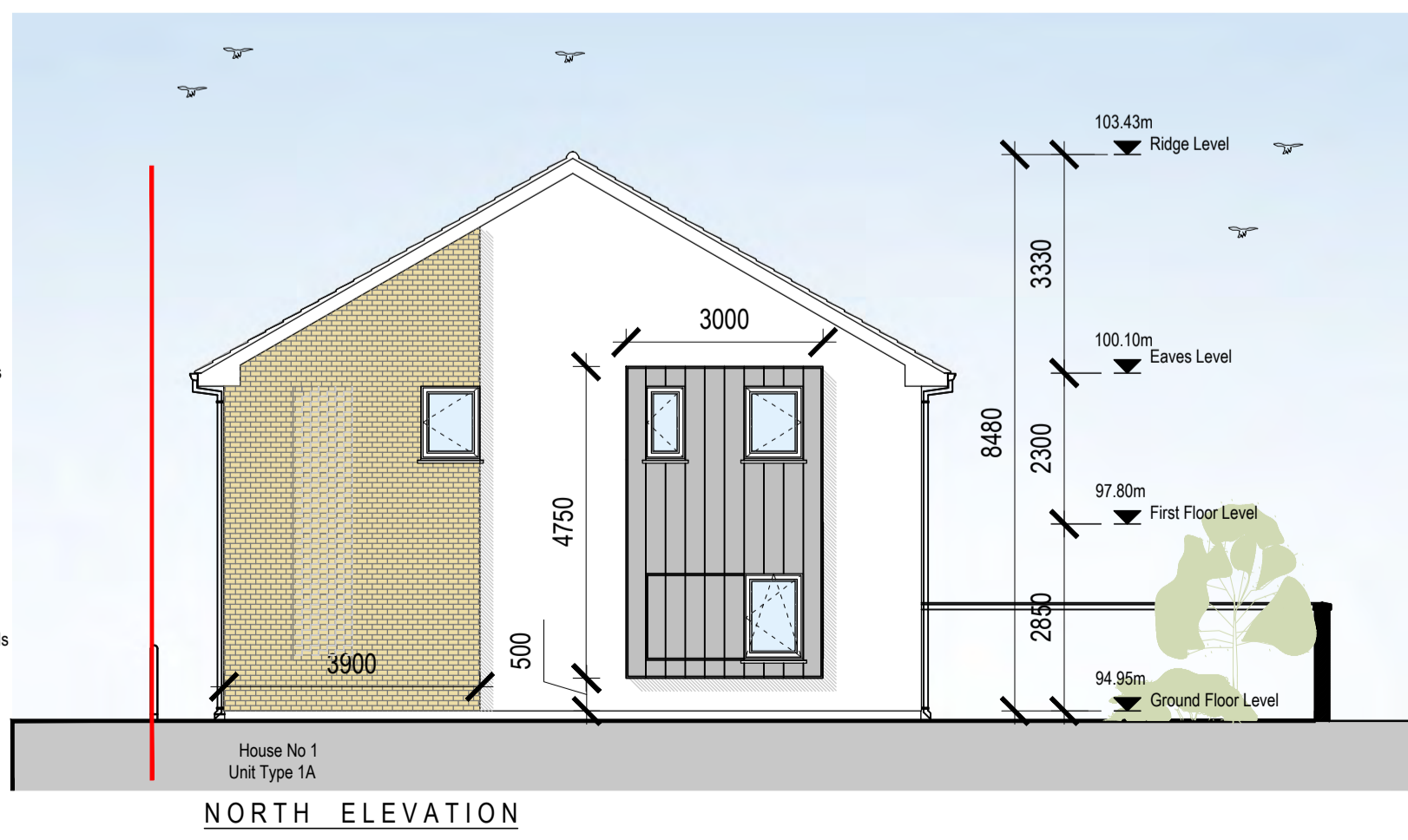
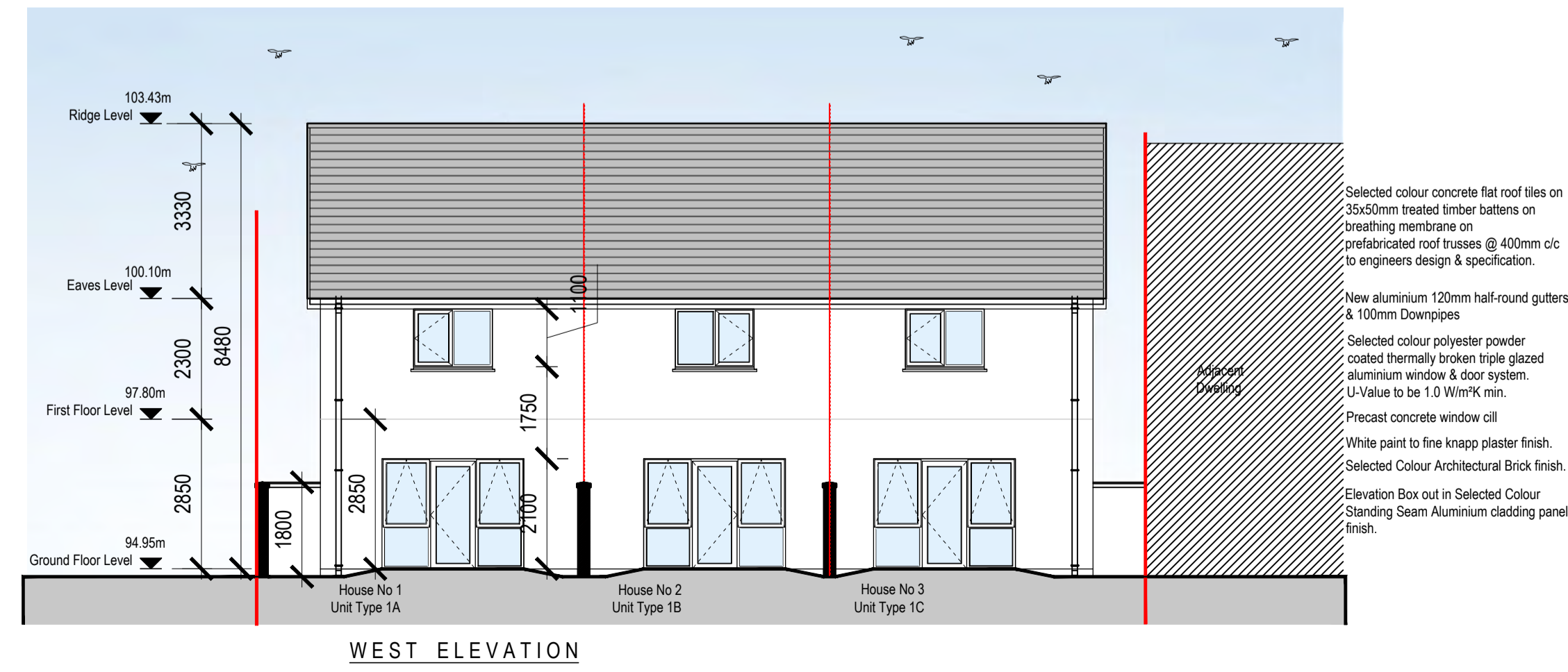
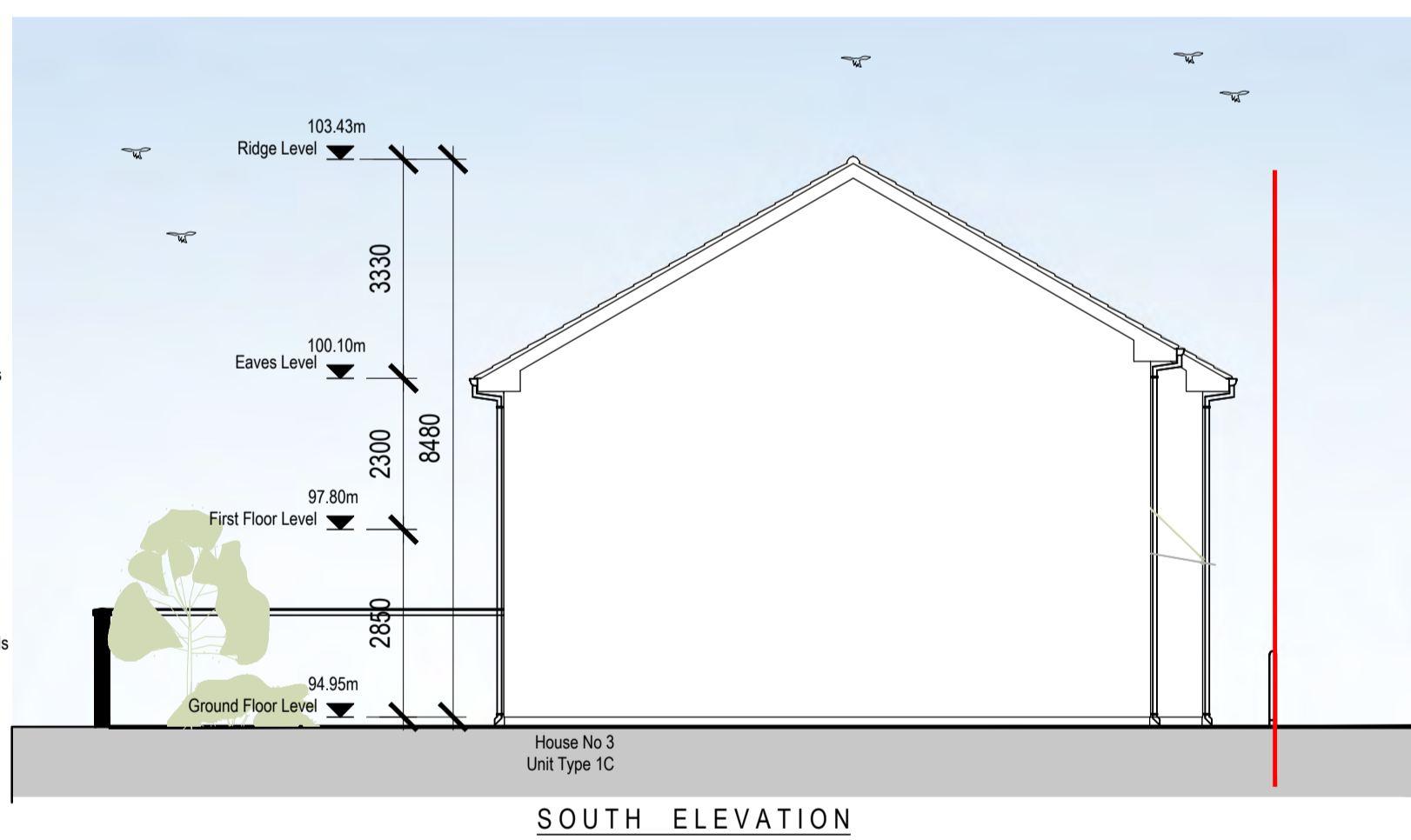
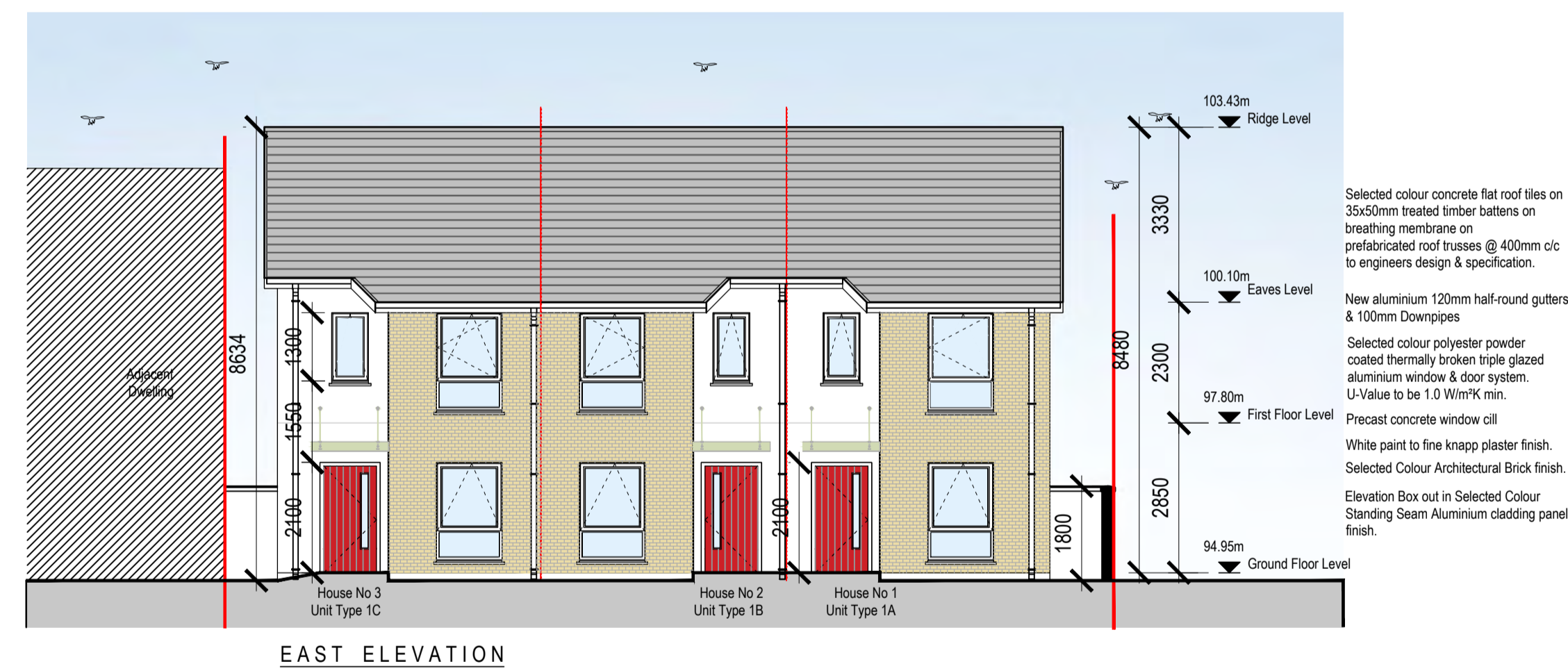
NOTE: PUBLIC OPEN SPACE

NOTE: HARD LANDSCAPING / PAVED AREAS

UNIT 1A - 2 BED / 3 PERSON (House)		
	Required:	Achieved:
Total area	60.0m ²	76.88m ²
Agg. Living	28.0m ²	28.5m ²
Storage	3m ²	5.7m ²
Room:	Req.	Achieved:
Living	13.0m ²	28.5m ²
Kitchen / Dining	-	-
Bedroom 1	13.0m ²	13.74m ²
Bedroom 2	7.1m ²	7.47m ²

UNIT 1B - 2 BED / 3 PERSON (House)		
	Required:	Achieved:
Total area	60.0m ²	76.88m ²
Agg. Living	28.0m ²	28.5m ²
Storage	3m ²	5.7m ²
Room:	Req.	Achieved:
Living	13.0m ²	28.5m ²
Kitchen / Dining	-	-
Bedroom 1	13.0m ²	13.74m ²
Bedroom 2	7.1m ²	7.47m ²

UNIT 1C - 2 BED / 3 PERSON (House)		
	Required:	Achieved:
Total area	60.0m ²	76.88m ²
Agg. Living	28.0m ²	28.5m ²
Storage	3m ²	5.7m ²
Room:	Req.	Achieved:
Living	13.0m ²	28.5m ²
Kitchen / Dining	-	-
Bedroom 1	13.0m ²	13.74m ²
Bedroom 2	7.1m ²	7.47m ²



REV	DATE	DRAWN	NOTES

CJFA ARCHITECTS C.J. Falconer + Associates ARCHITECTS

St. Patrick's House, Newtown, Waterford, Ireland. X91-RR76
t: +353 (0)51 878888 f: +353 (0)51 878794 e: mail@cjfa.ie w: www.cjfa.ie

DWG SERIES: PART 8

CLIENT: TIPPERARY COUNTY COUNCIL
JOB: Social Housing Development at Grove Street, Roscrea, Co. Tipperary

DRAWING: Proposed 2 Storey House Floor & Roof Plans

DATE: July 2021 SCALE: 1:100 A1
DRAWN: Ian O'Sullivan CHECKED: Gary Falconer

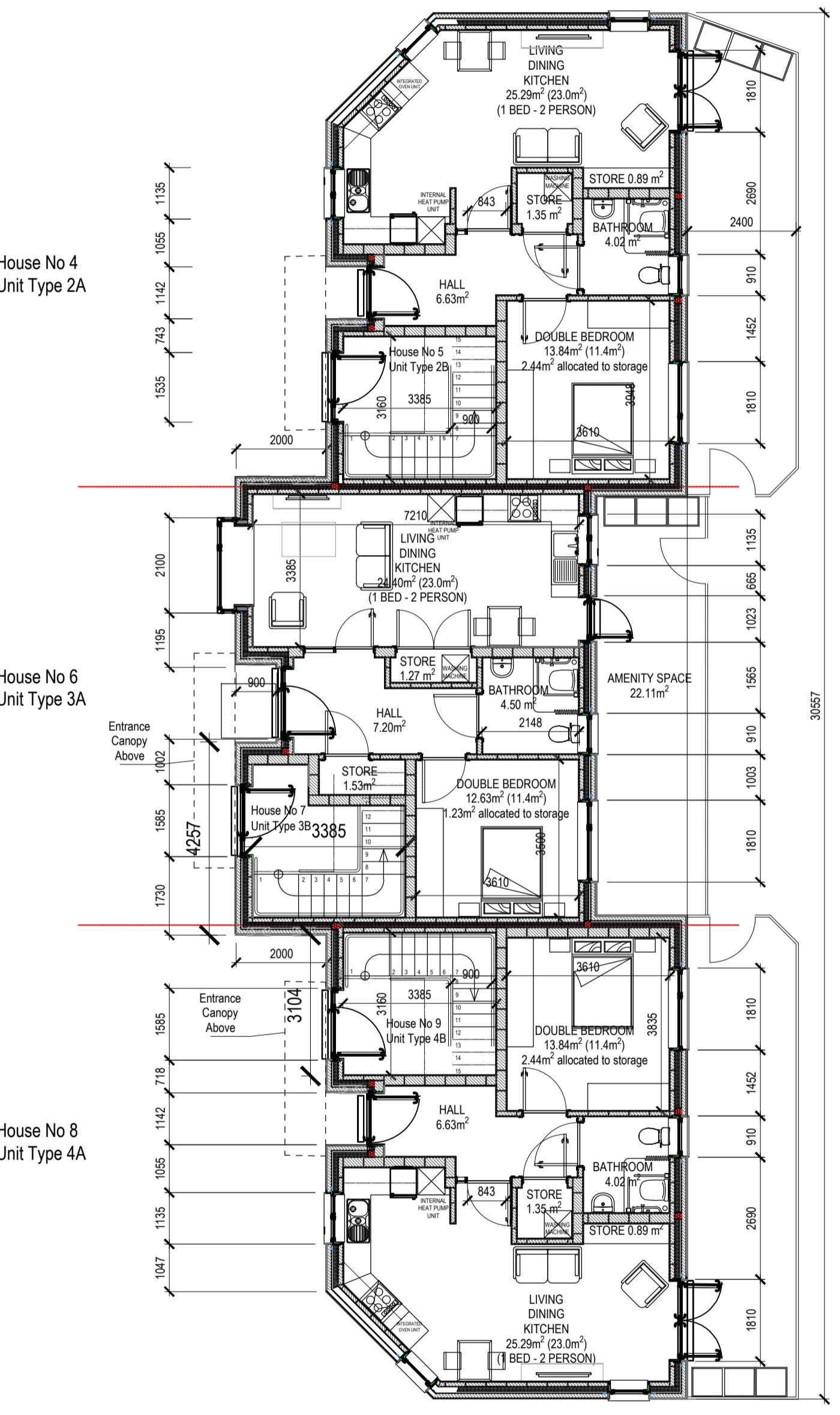
JOB NUMBER: 2021012 DWG NUMBER: PL-200 REVISION:

LEGEND:

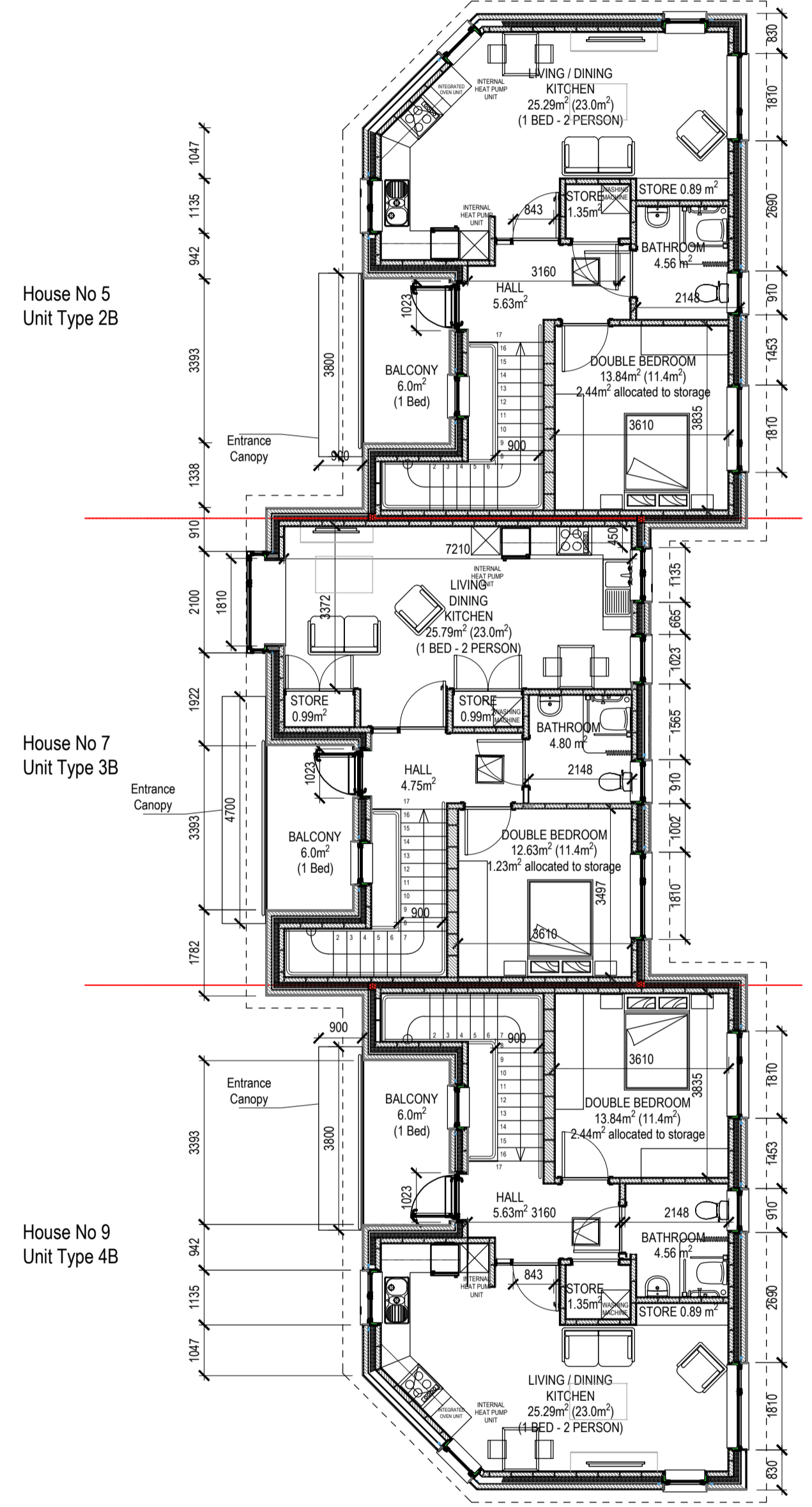
Ordnance Survey Ireland Licence No. AR0005421 © Government of Ireland

DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS IN ALL CASES. VERIFY DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS IMMEDIATELY. THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE ARCHITECTS' PERMISSION.

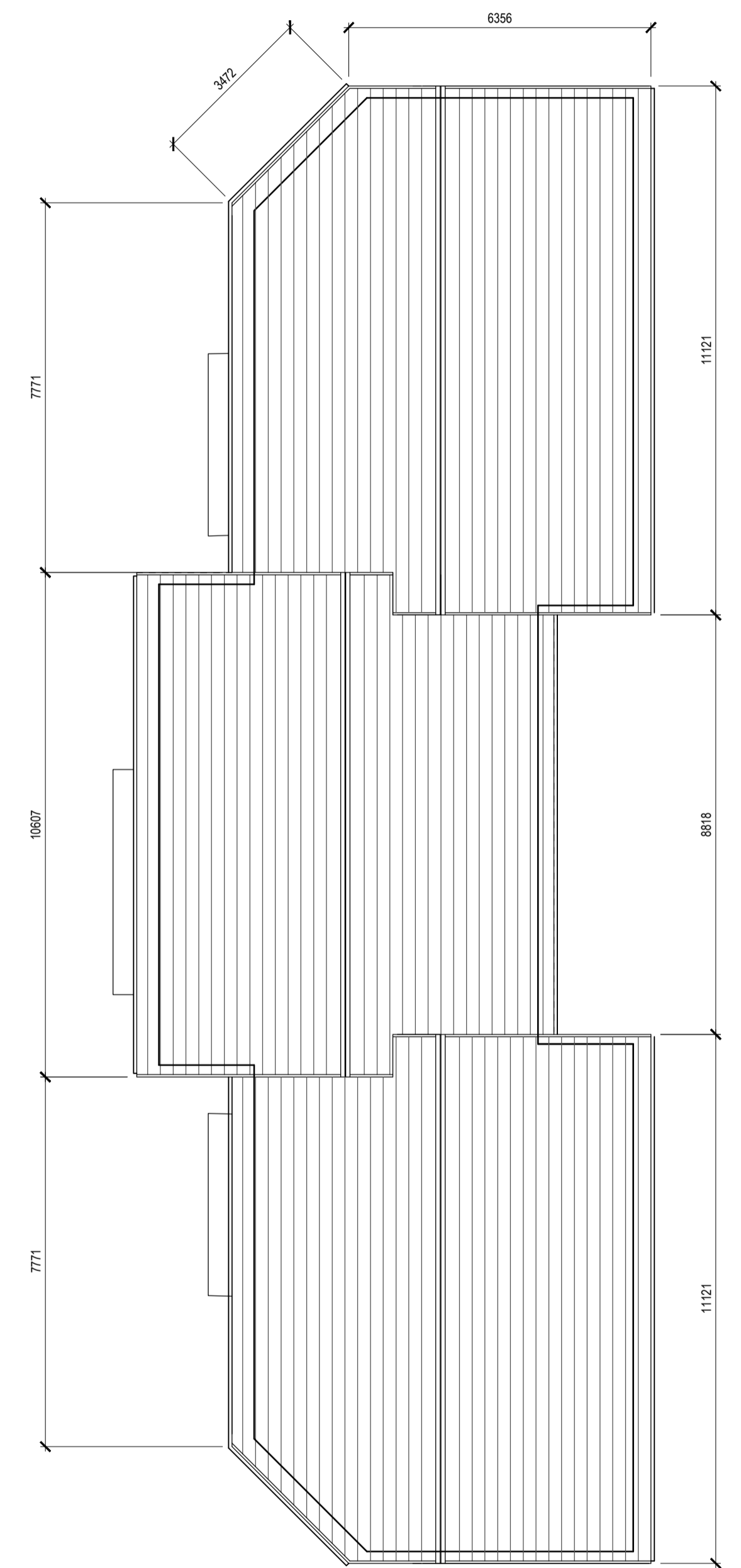
NOTES



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED ROOF PLAN

UNIT 2A - 1 BED / 2 PERSON (Apartment)		
Room:	Required:	Achieved:
Total area	45.0m ²	55.37m ²
Agg. Living	23m ²	25.29m ²
Storage	3m ²	4.68m ²
Living	23m ²	25.29m ²
Kitchen / Dining	-	-
Bedroom 1	11.4m ²	11.40m ²
Private Open Space	5m ²	23.93m ²

UNIT 2B - 1 BED / 2 PERSON (Apartment)		
Room:	Required:	Achieved:
Total area	45.0m ²	53.56m ²
Agg. Living	23m ²	25.29m ²
Storage	3m ²	4.68m ²
Living	23m ²	25.29m ²
Kitchen / Dining	-	-
Bedroom 1	11.4m ²	11.40m ²
Private Open Space	5m ²	6.00m ²

UNIT 3A - 1 BED / 2 PERSON (Apartment)		
Room:	Required:	Achieved:
Total area	45.0m ²	54.23m ²
Agg. Living	23m ²	24.40m ²
Storage	3m ²	4.03m ²
Living	23m ²	24.40m ²
Kitchen / Dining	-	-
Bedroom 1	11.4m ²	11.40m ²
Private Open Space	5m ²	22.11m ²

UNIT 3B - 1 BED / 2 PERSON (Apartment)		
Room:	Required:	Achieved:
Total area	45.0m ²	51.81m ²
Agg. Living	23m ²	25.79m ²
Storage	3m ²	3.21m ²
Living	23m ²	25.79m ²
Kitchen / Dining	-	-
Bedroom 1	11.4m ²	11.40m ²
Private Open Space	5m ²	6.0m ²

UNIT 4A - 1 BED / 2 PERSON (Apartment)		
Room:	Required:	Achieved:
Total area	45.0m ²	55.37m ²
Agg. Living	23m ²	25.29m ²
Storage	3m ²	4.68m ²
Living	23m ²	25.29m ²
Kitchen / Dining	-	-
Bedroom 1	11.4m ²	11.40m ²
Private Open Space	5m ²	24.98m ²

UNIT 4A - 1 BED / 2 PERSON (Apartment)		
Room:	Required:	Achieved:
Total area	45.0m ²	53.56m ²
Agg. Living	23m ²	25.29m ²
Storage	3m ²	4.68m ²
Living	23m ²	25.29m ²
Kitchen / Dining	-	-
Bedroom 1	11.4m ²	11.40m ²
Private Open Space	5m ²	6.0m ²

REV. DATE. DRAWN. NOTES

CJFA ARCHITECTS **C.J. Falconer + Associates ARCHITECTS**

St. Patrick's House, Newtown, Waterford, Ireland. X91-RR76
t: +353 (0)51 878888 f: +353 (0)51 878794 e: mail@cjfa.ie w: www.cjfa.ie

DWG SERIES: **PART 8**

CLIENT: **TIPPERARY COUNTY COUNCIL**
JOB: **Social Housing Development at Grove Street, Roscrea, Co. Tipperary**
DRAWING: **Proposed 2 Storey - 1 Bed Apartment Units Floor & Roof Plans**
DATE: **July 2021** SCALE: **1:100 - A1**
DRAWN: **San O'Sullivan** CHECKED: **Gary Falconer**

JOB NUMBER: **2021012** DWG NUMBER: **PL-201** REVISION:

DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS IN ALL CASES.
 VERIFY DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS IMMEDIATELY.
 THIS DRAWING IS THE SOLE PROPERTY OF THE ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE ARCHITECTS' PERMISSION.

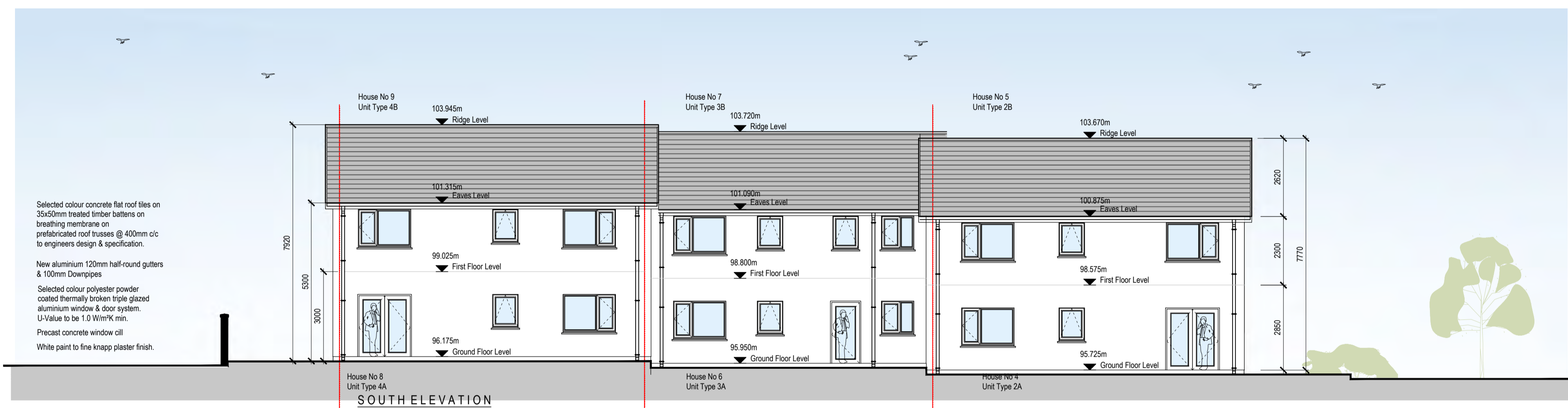
NOTES

LEGEND:



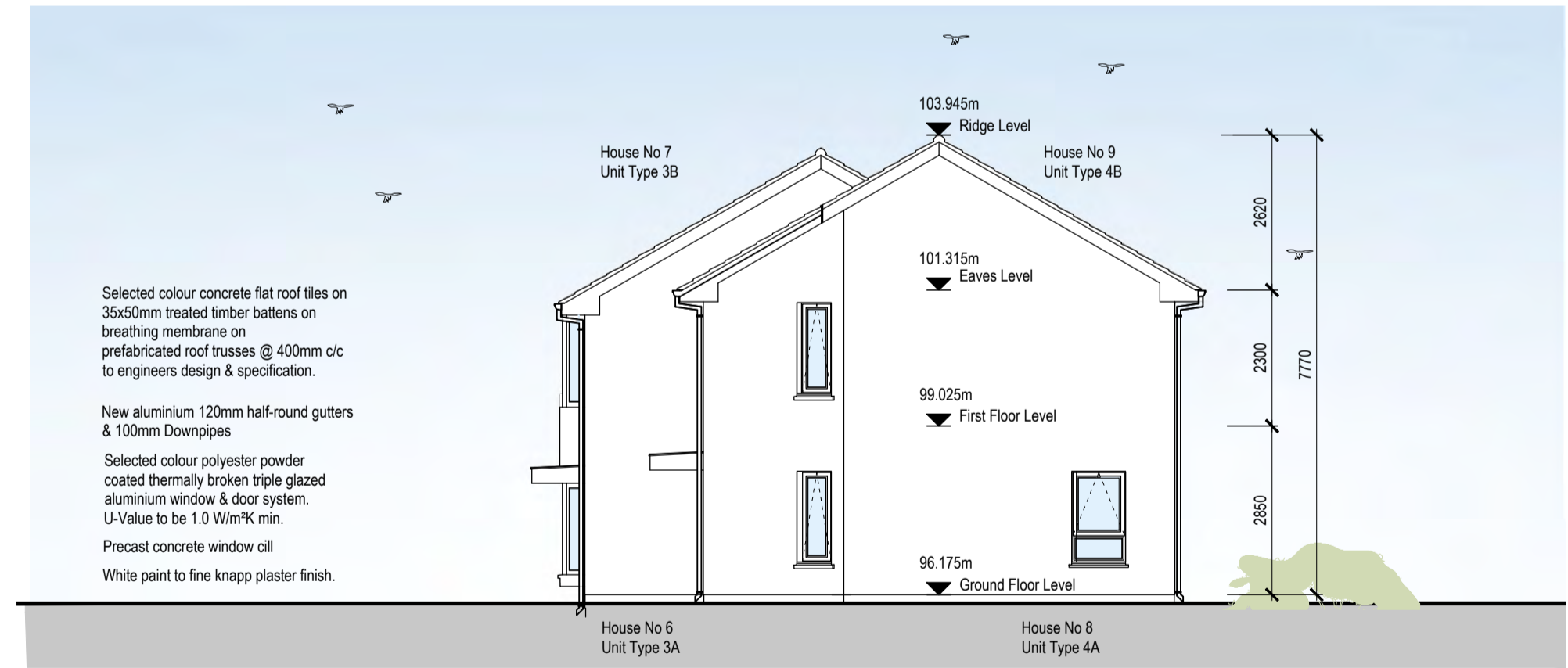
Selected colour concrete flat roof tiles on 35x50mm treated timber battens on breathing membrane on prefabricated roof trusses @ 400mm c/c to engineers design & specification.
 New aluminium 120mm half-round gutters & 100mm Downpipes
 Selected colour polyester powder coated thermally broken triple glazed aluminium window & door system. U-Value to be 1.0 W/m²K min.
 Precast concrete window sill
 White paint to fine knapp plaster finish.

NORTH ELEVATION



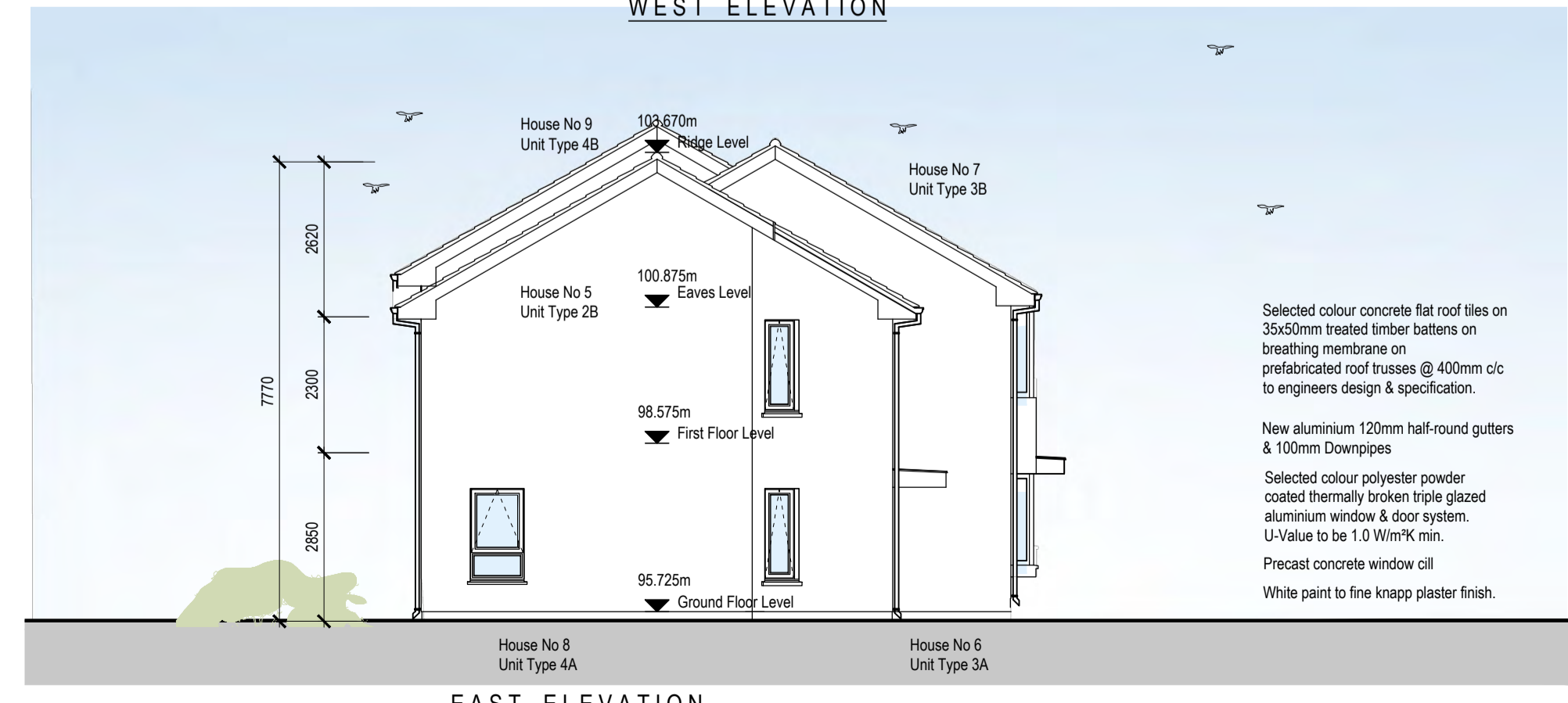
Selected colour concrete flat roof tiles on 35x50mm treated timber battens on breathing membrane on prefabricated roof trusses @ 400mm c/c to engineers design & specification.
 New aluminium 120mm half-round gutters & 100mm Downpipes
 Selected colour polyester powder coated thermally broken triple glazed aluminium window & door system. U-Value to be 1.0 W/m²K min.
 Precast concrete window sill
 White paint to fine knapp plaster finish.

SOUTH ELEVATION



Selected colour concrete flat roof tiles on 35x50mm treated timber battens on breathing membrane on prefabricated roof trusses @ 400mm c/c to engineers design & specification.
 New aluminium 120mm half-round gutters & 100mm Downpipes
 Selected colour polyester powder coated thermally broken triple glazed aluminium window & door system. U-Value to be 1.0 W/m²K min.
 Precast concrete window sill
 White paint to fine knapp plaster finish.

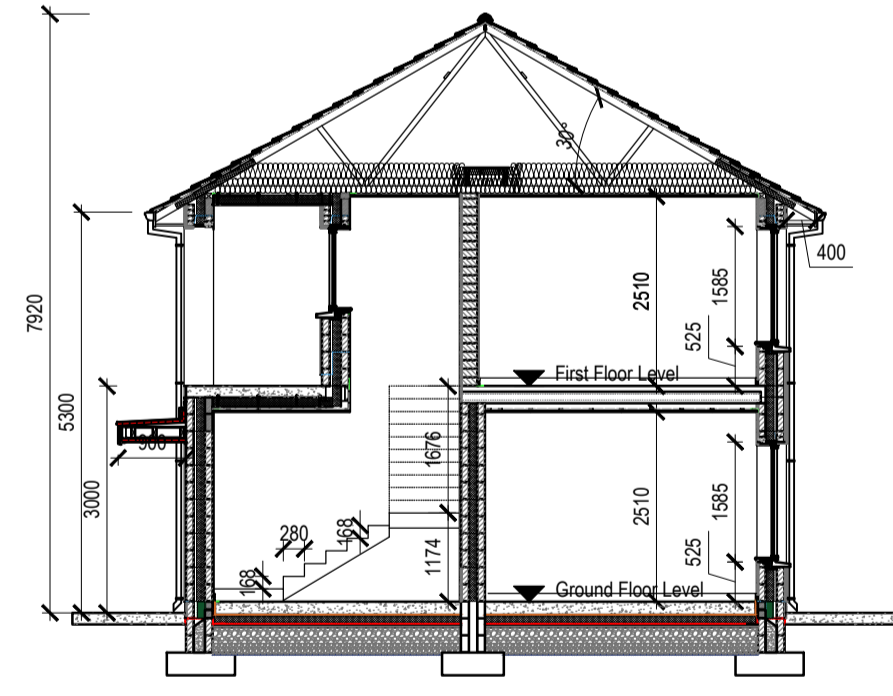
WEST ELEVATION



Selected colour concrete flat roof tiles on 35x50mm treated timber battens on breathing membrane on prefabricated roof trusses @ 400mm c/c to engineers design & specification.
 New aluminium 120mm half-round gutters & 100mm Downpipes
 Selected colour polyester powder coated thermally broken triple glazed aluminium window & door system. U-Value to be 1.0 W/m²K min.
 Precast concrete window sill
 White paint to fine knapp plaster finish.

EAST ELEVATION

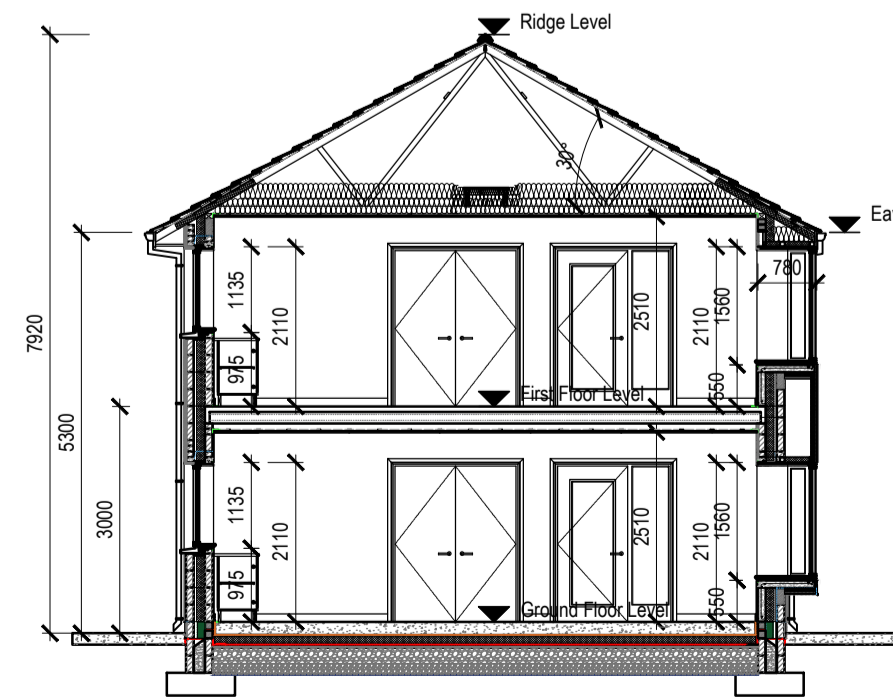
400mm deep Mineral Fibre Attic insulation to achieve the required U-Value 0.16W/m²K
 Selected colour polyester powder coated thermally broken triple glazed aluminium window & door system. U-Value to be 1.0 W/m²K min.
 Precast concrete window sill
 Floor construction
 150mm thick power floated floor screed on 100mm insulation with edge insulation with min. R-value of 1.0m and polyethylene slip sheet on radon barrier on 50mm fine sand binding on 200mm permeable fill on 340mm hardcore
 350mm RC raft foundation to engineers design.



SECTION A-A

Approx. 4 no. P.V. panels per unit. To be specified by Mechanical Engineer.
 Selected colour concrete flat roof tiles on 35x50mm treated timber battens on breathing membrane on prefabricated roof trusses @ 400mm c/c to engineers design & specification.
 New aluminium 120mm half-round gutters & 100mm Downpipes
 350mm thick wall construction
 White paint to fine knapp plaster finish on 100mm concrete block external leaf with 110mm cavity wall insulation with 40mm air cavity with 100mm concrete block internal leaf with handwall plaster finish on scratch and scudded coats with stainless steel twist type wall ties at 750mm c/c horizontally & 450mm c/c vertically with one at every course around window and door opens.
 element should be so designed to ensure a u-value rating exceeding that of 0.16 w/m²k.

400mm deep Mineral Fibre Attic insulation to achieve the required U-Value 0.16W/m²K
 Selected colour polyester powder coated thermally broken triple glazed aluminium window & door system. U-Value to be 1.0 W/m²K min.
 Precast concrete window sill
 Floor construction
 150mm thick power floated floor screed on 100mm insulation with edge insulation with min. R-value of 1.0m and polyethylene slip sheet on radon barrier on 50mm fine sand binding on 200mm permeable fill on 340mm hardcore
 350mm RC raft foundation to engineers design.



SECTION B-B

Approx. 4 no. P.V. panels per unit. To be specified by Mechanical Engineer.
 Selected colour concrete flat roof tiles on 35x50mm treated timber battens on breathing membrane on prefabricated roof trusses @ 400mm c/c to engineers design & specification.
 New aluminium 120mm half-round gutters & 100mm Downpipes
 350mm thick wall construction
 White paint to fine knapp plaster finish on 100mm concrete block external leaf with 110mm cavity wall insulation with 40mm air cavity with 100mm concrete block internal leaf with handwall plaster finish on scratch and scudded coats with stainless steel twist type wall ties at 750mm c/c horizontally & 450mm c/c vertically with one at every course around window and door opens.
 element should be so designed to ensure a u-value rating exceeding that of 0.16 w/m²k.

REV	DATE	DRAWN	NOTES

CJFA ARCHITECTS
C.J. Falconer + Associates ARCHITECTS

St. Patrick's House, Newtown, Waterford, Ireland. X91-RR76
 T: +353 (0)51 878888 F: +353 (0)51 878794 E: mail@cjfa.ie W: www.cjfa.ie

DWG SERIES: **PART 8**

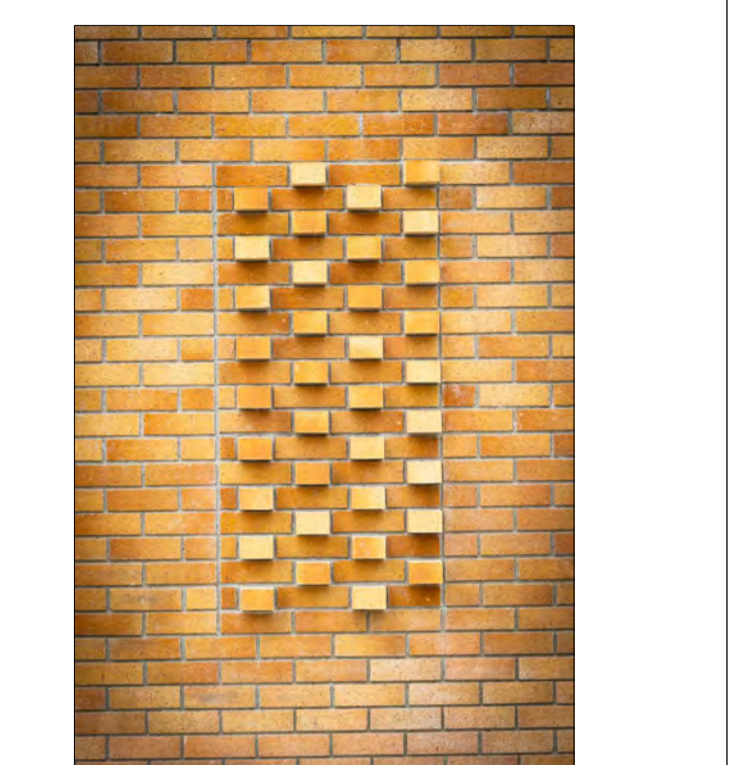
CLIENT: **TIPPERARY COUNTY COUNCIL**
 JOB: **Social Housing Development at Grove Street, Roscrea, Co. Tipperary**
 DRAWING: **Proposed 2 Storey - 1 Bed Apartment Units Elevations and Sections**
 DATE: July 2021 SCALE: 1:100 - A1
 DRAWN: Ian O'Sullivan CHECKED: Gary Falconer

JOB NUMBER: **2021012** DWG NUMBER: **PL-400** REVISION:

DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS IN ALL CASES. VERIFY DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS IMMEDIATELY. THE DRAWING IS THE ARCHITECTS' PROPERTY AND MAY ONLY BE REPRODUCED WITH THE ARCHITECTS' PERMISSION.

NOTES

LEGEND:
 Ordnance Survey Ireland Licence No. AR0005421 © Government of Ireland



Precedent image of Brick External Finish with Feature Brick Detail



Precedent image of Proposed Private Courtyards Glazed Guarding Detail



Precedent image of Proposed White Plaster Finish with Selected Colour Standing Seam Aluminium Cladding Panels Finish.

REV	DATE	DRAWN	NOTES

CJFA ARCHITECTS C.J. Falconer + Associates ARCHITECTS

St. Patrick's House, Newtown, Waterford, Ireland. X91-RR76
 t: +353 (0)51 878888 f: +353 (0)51 878794 e: mail@cjfa.ie w: www.cjfa.ie

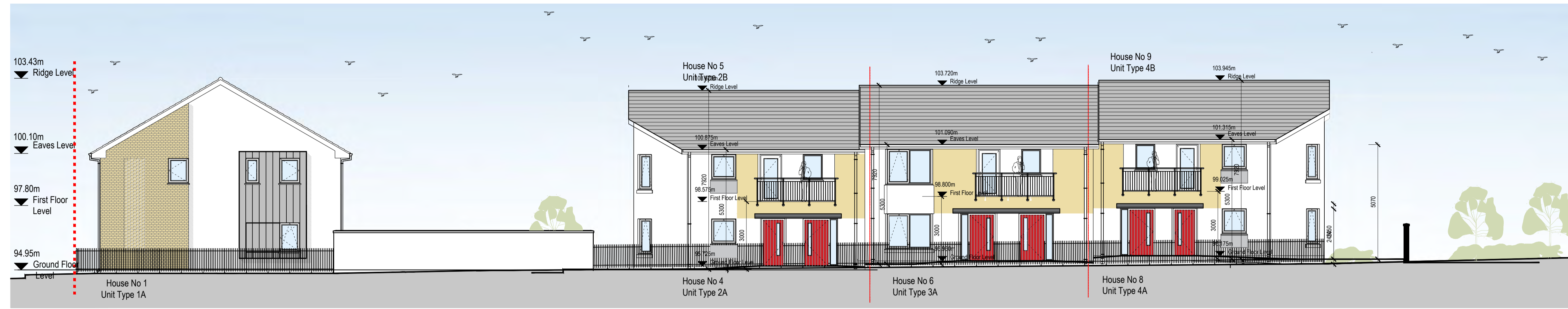
DWG SERIES: PART 8

CLIENT: TIPPERARY COUNTY COUNCIL
 JOB: Social Housing Development at Grove Street, Roscrea, Co. Tipperary

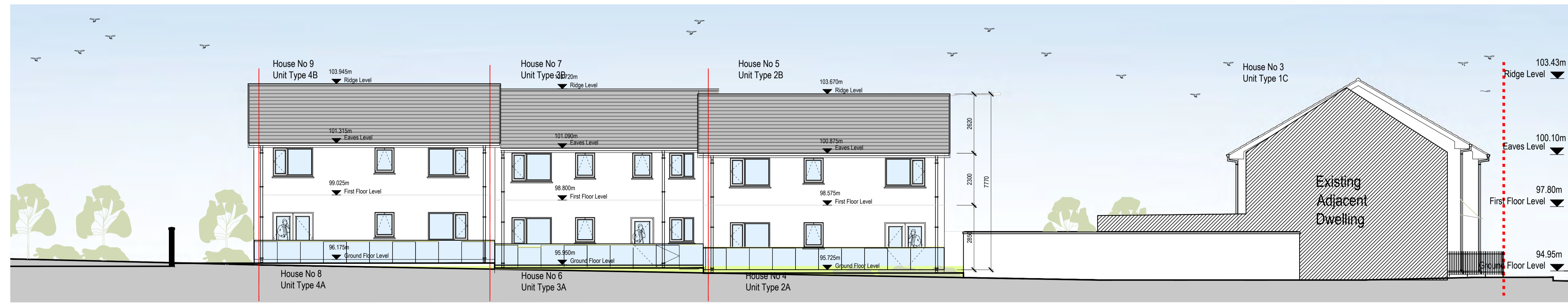
DRAWING: Proposed Contiguous Elevations

DATE: July 2021 SCALE: 1:100 @ A1
 DRAWN: Ian O'Sullivan CHECKED: Gary Falconer

JOB NUMBER: 2021012 DWG NUMBER: PL-402 REVISION:



NORTH ELEVATION FROM CRESCENT ROAD



SOUTH ELEVATION FROM GROVE STREET LANE